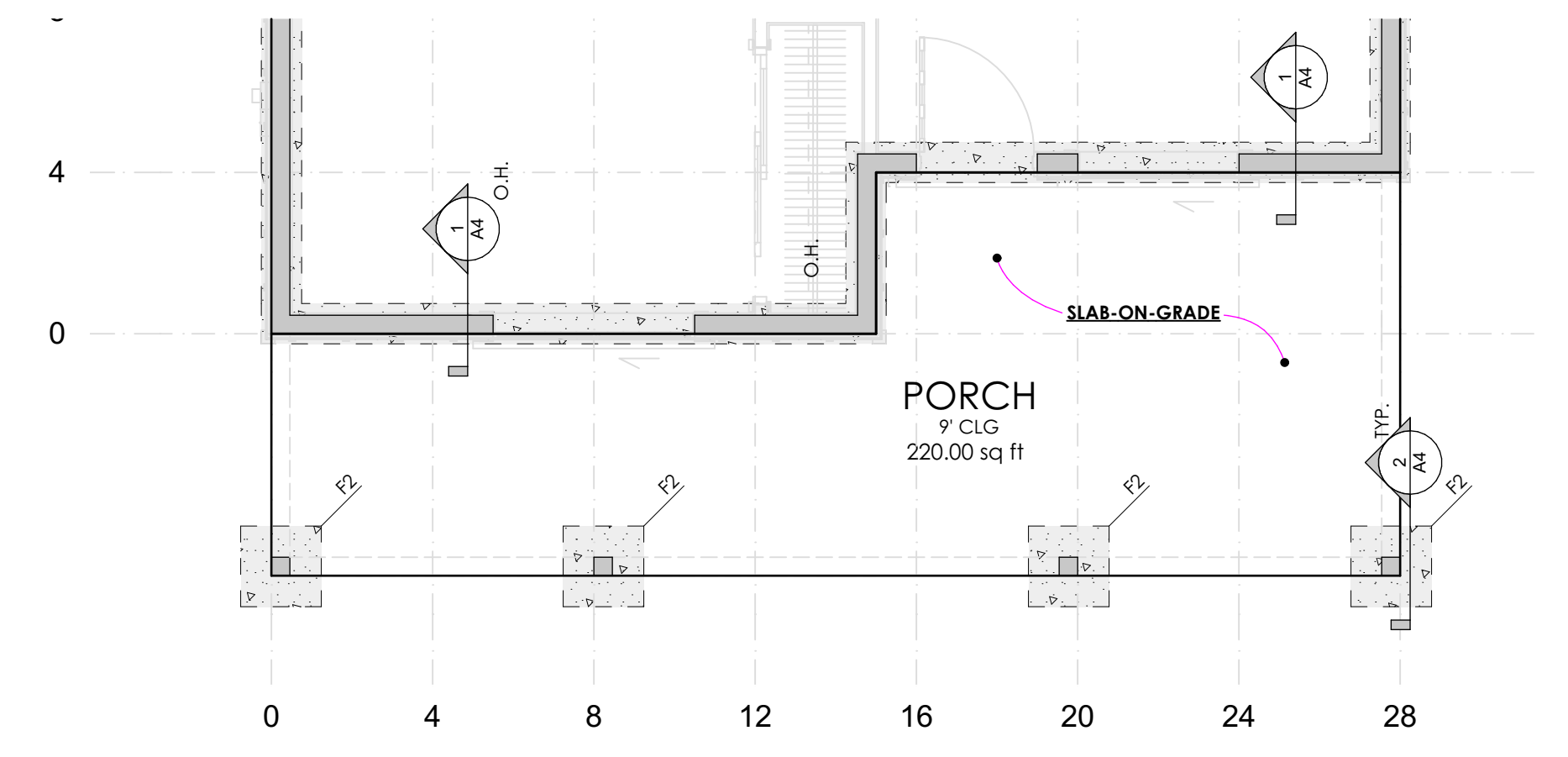
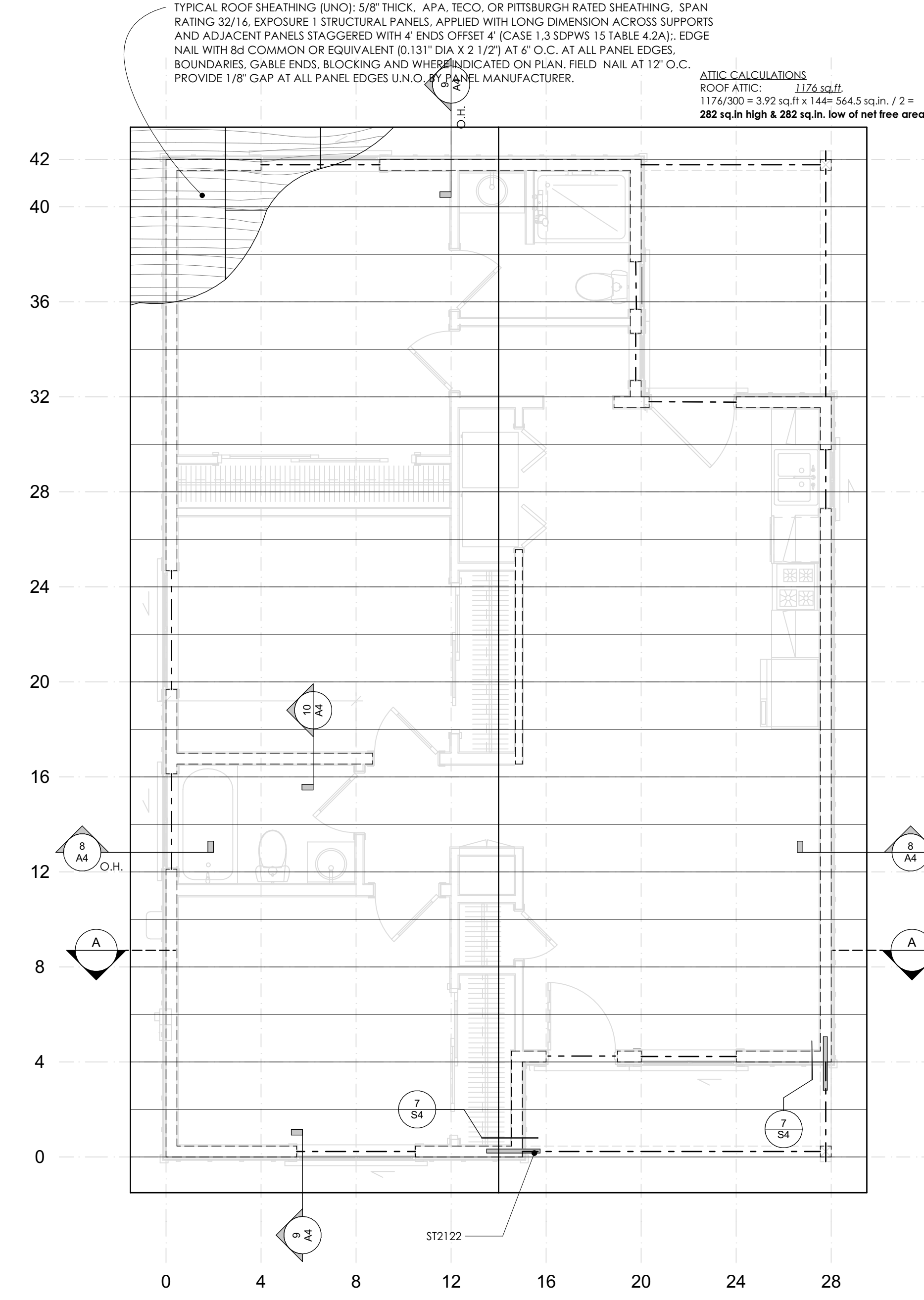


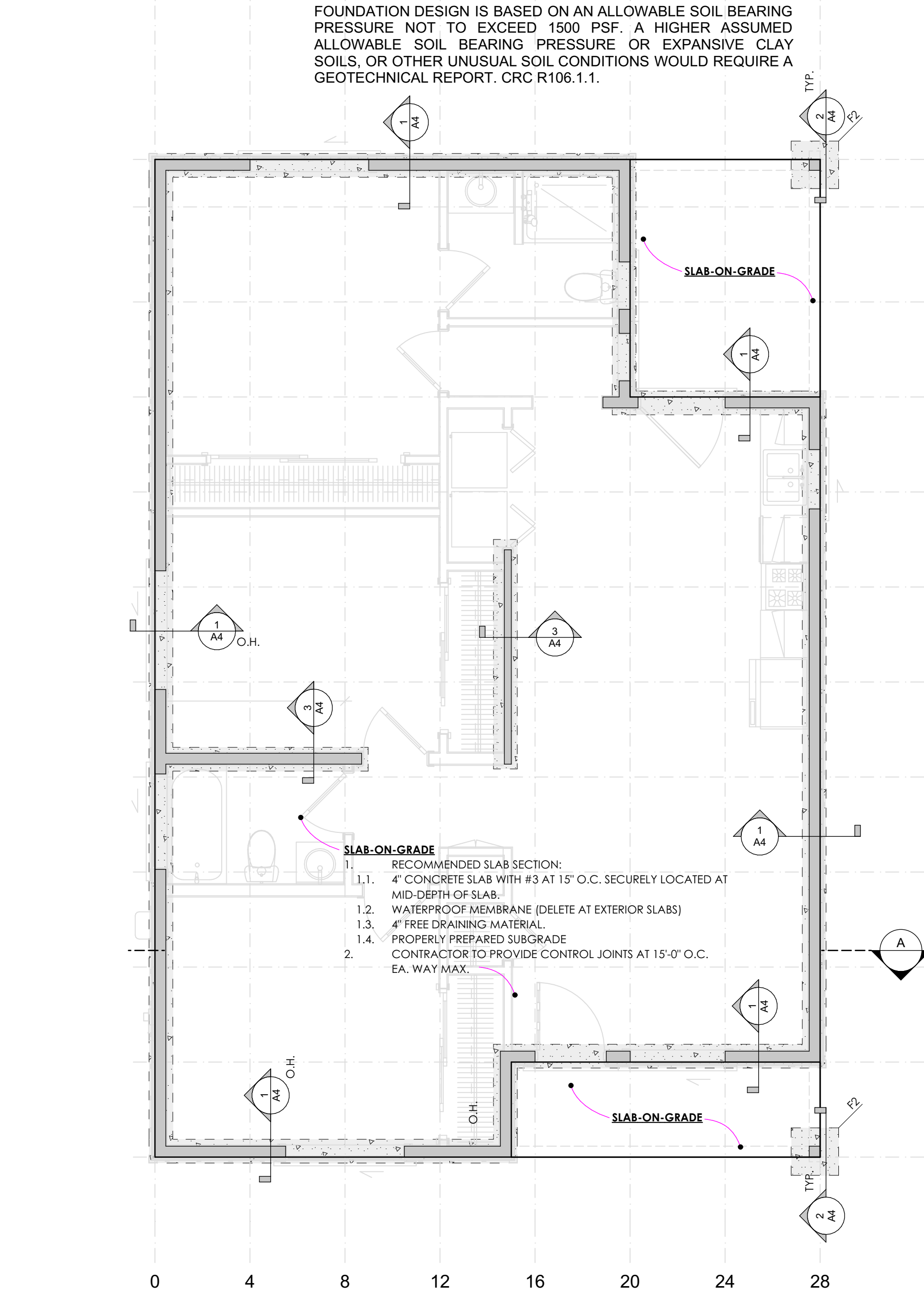
7 OPTION "B" - EXTENDED PORCH ROOF FRAMING PLAN
 SCALE: 1/4" = 1'-0"



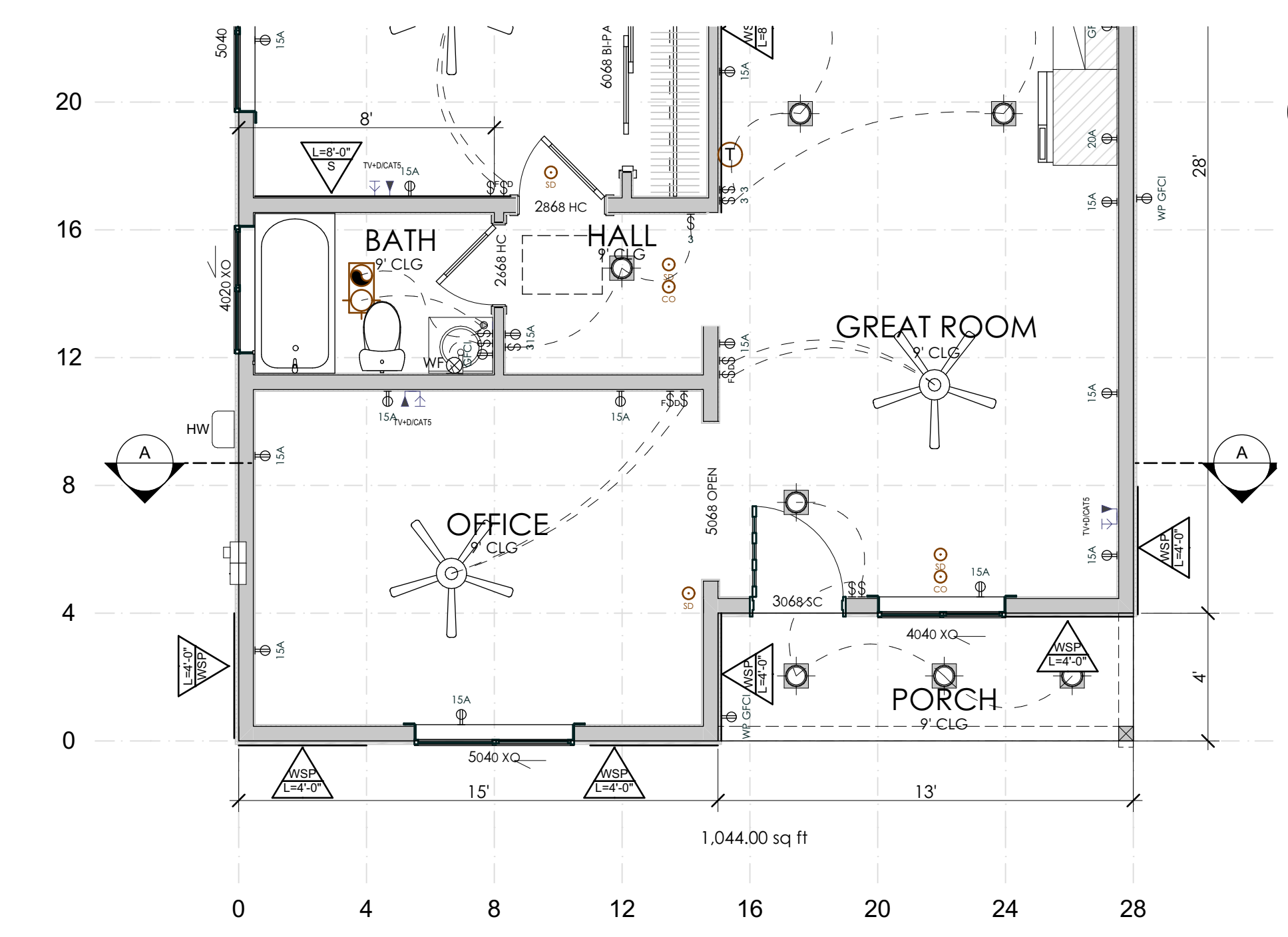
6 OPTION "B" - EXTENDED PORCH FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



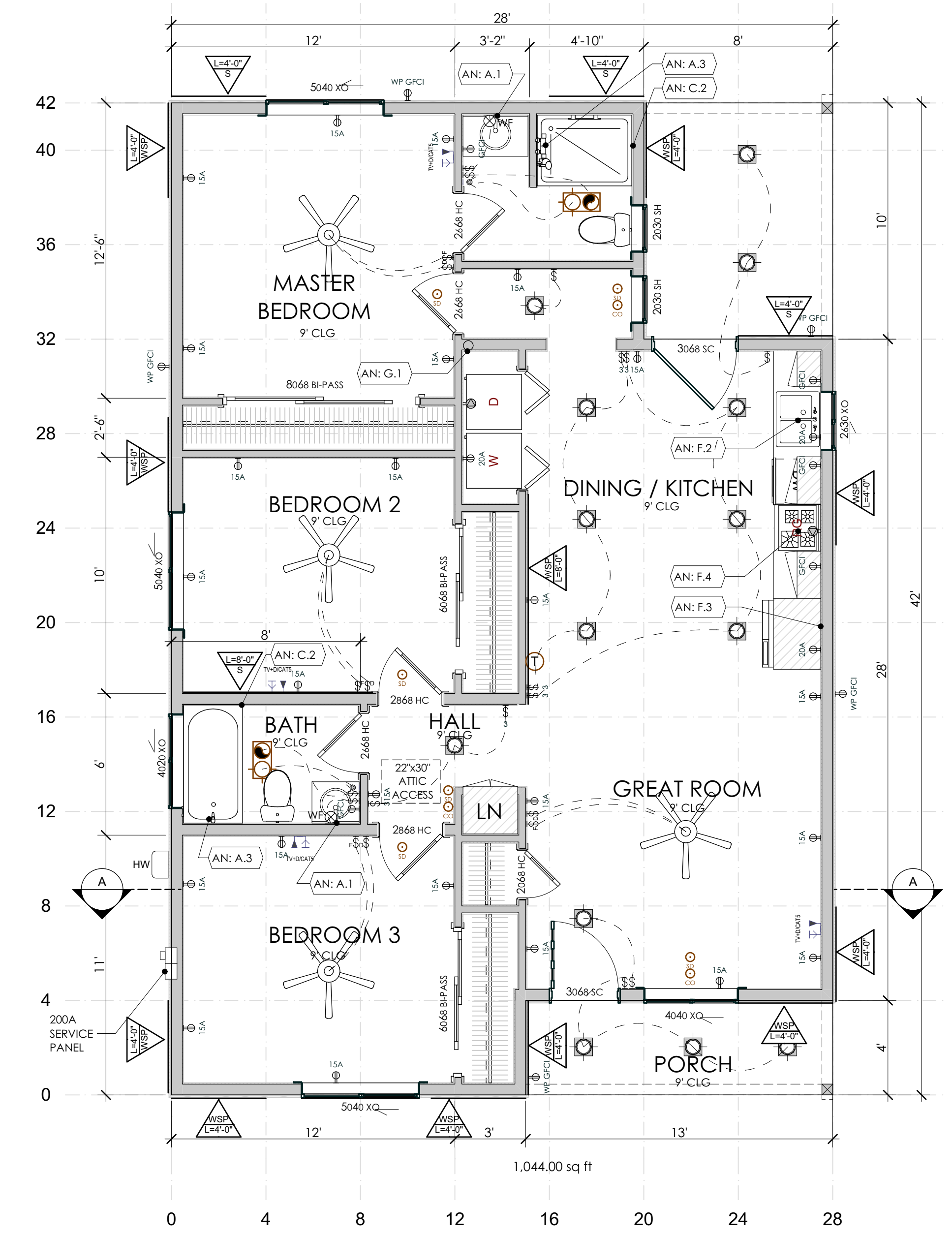
3 ROOF FRAMING PLAN
 SCALE: 1/4" = 1'-0"



2 SLAB ON GRADE FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



5 OPTION "A" - 2/2 WITH OFFICE
 SCALE: 1/4" = 1'-0"



1 FLOOR/ ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"

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CLIENT INFO.

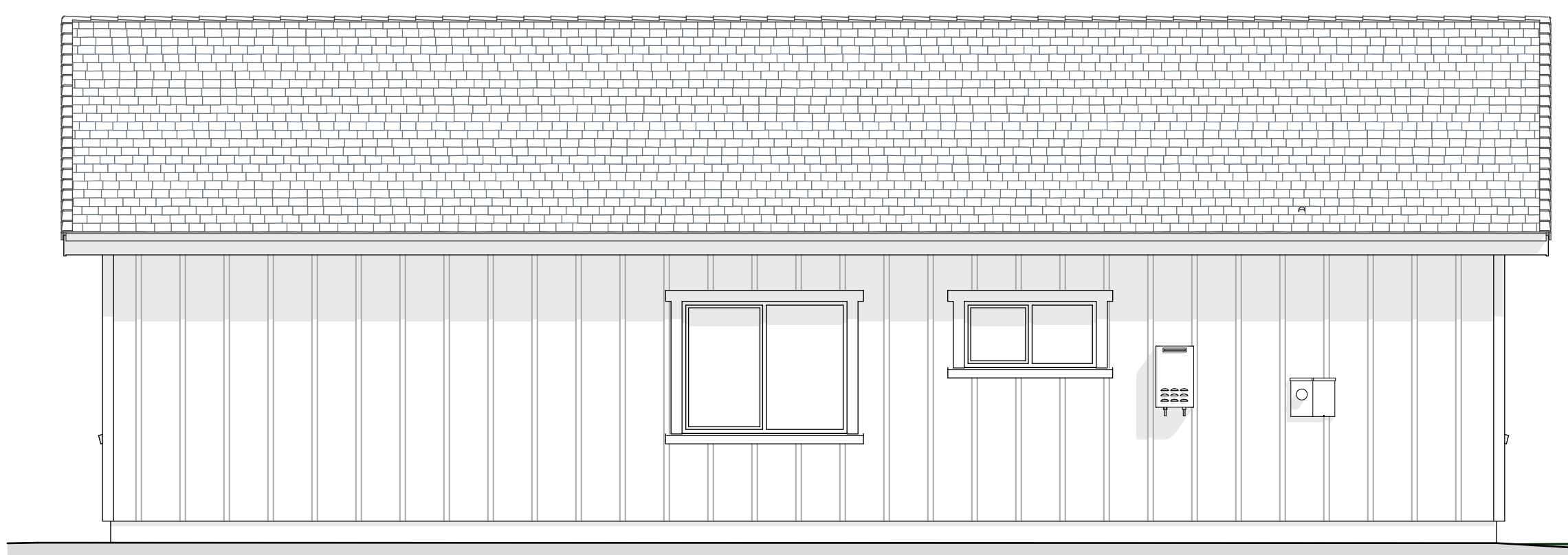
NEW RESIDENCE
 NorCal Ridge Collection
 MP 1044-3.2
 TOWN OF PARADISE
 3 BED / 2 BATH / 1044 SQ.FT.
 APN: TBD

DRAWING INFO.

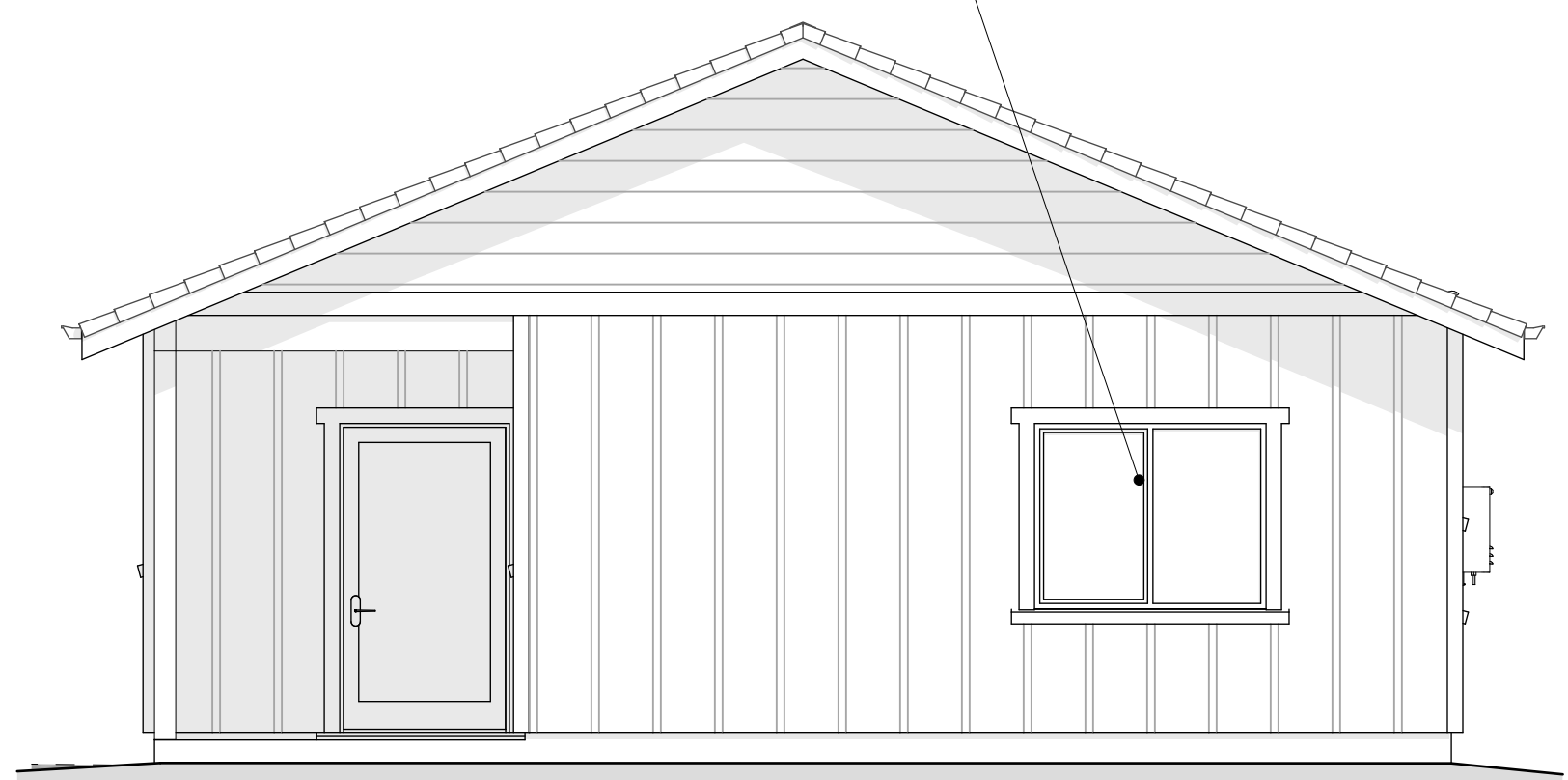
IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

BY	REVISIONS	DATE

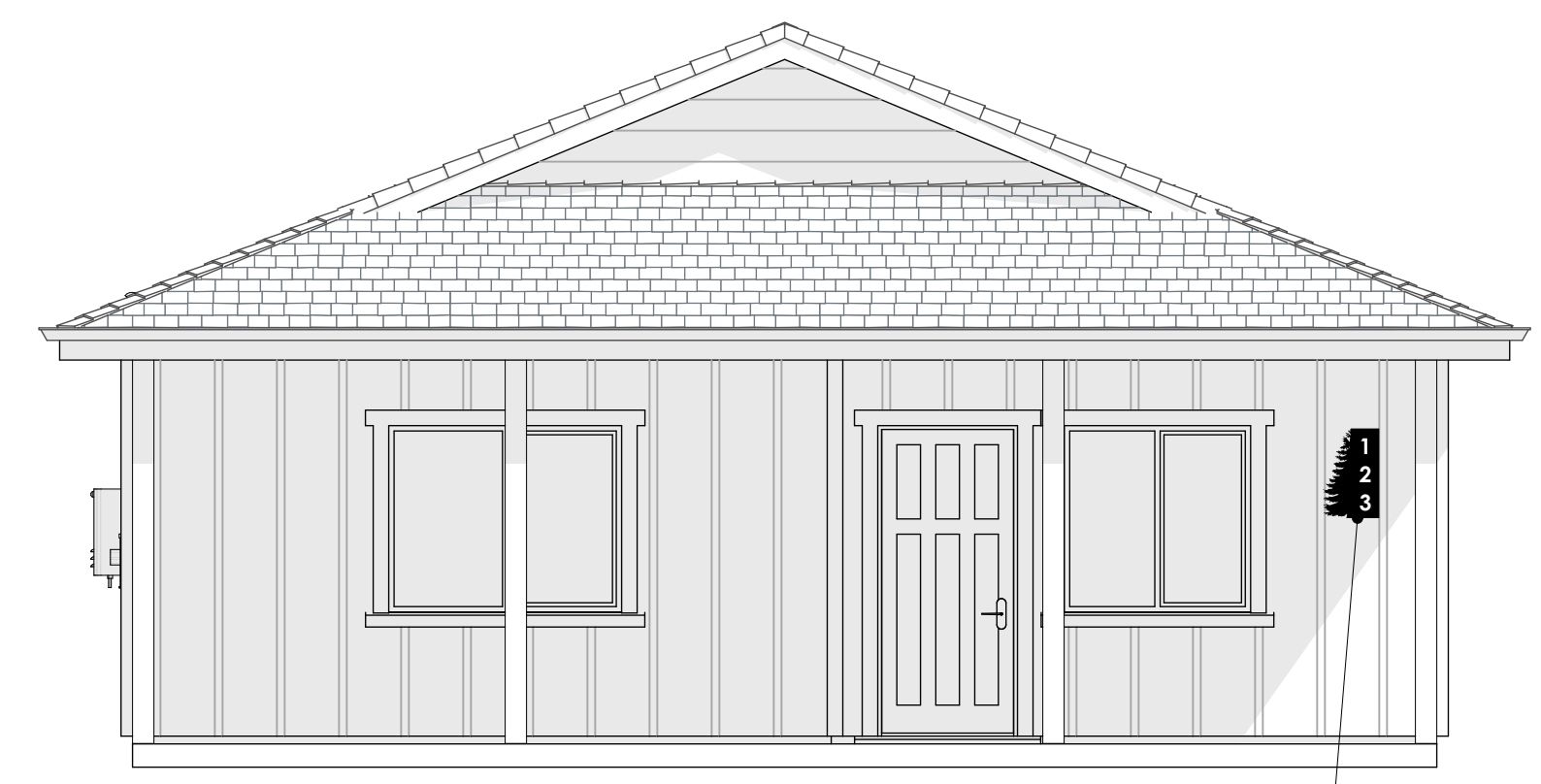
Date: 7/5/2021
 Scale: AS NOTED
 Sheet:
 Drawn: Steve Buttitta
 Steve Buttitta



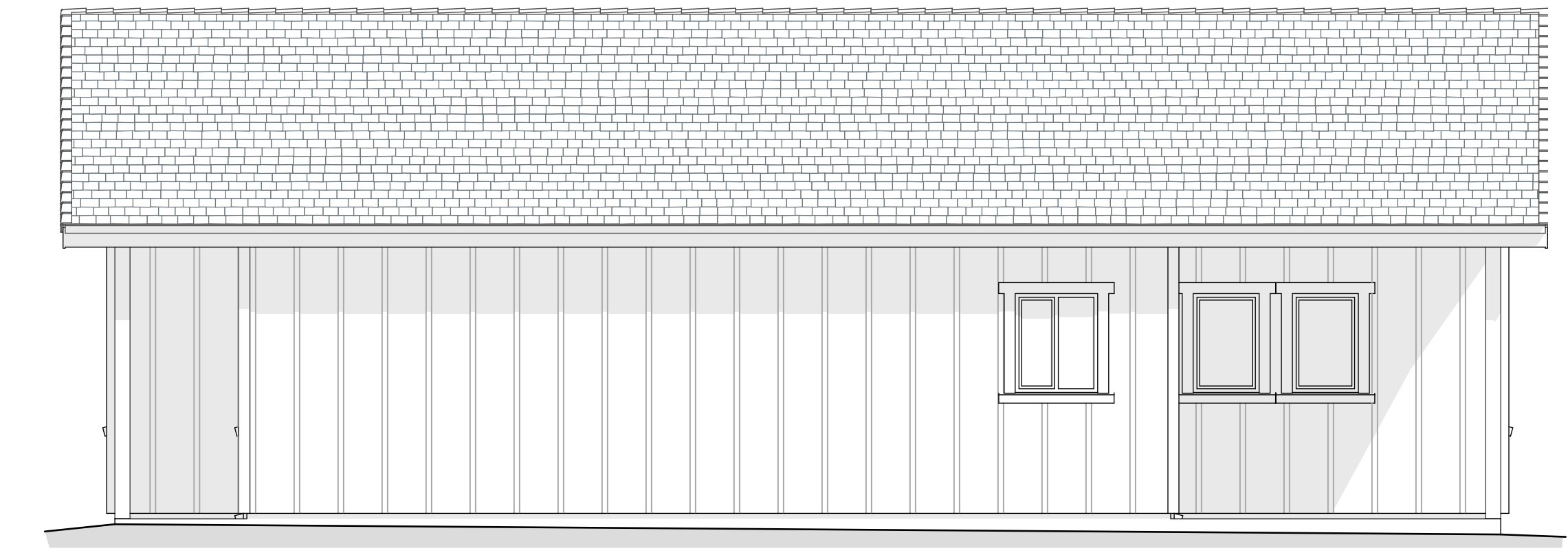
6 LEFT ELEVATION
 SCALE: 1/4" = 1'-0"



5 REAR ELEVATIONS
 SCALE: 1/4" = 1'-0"



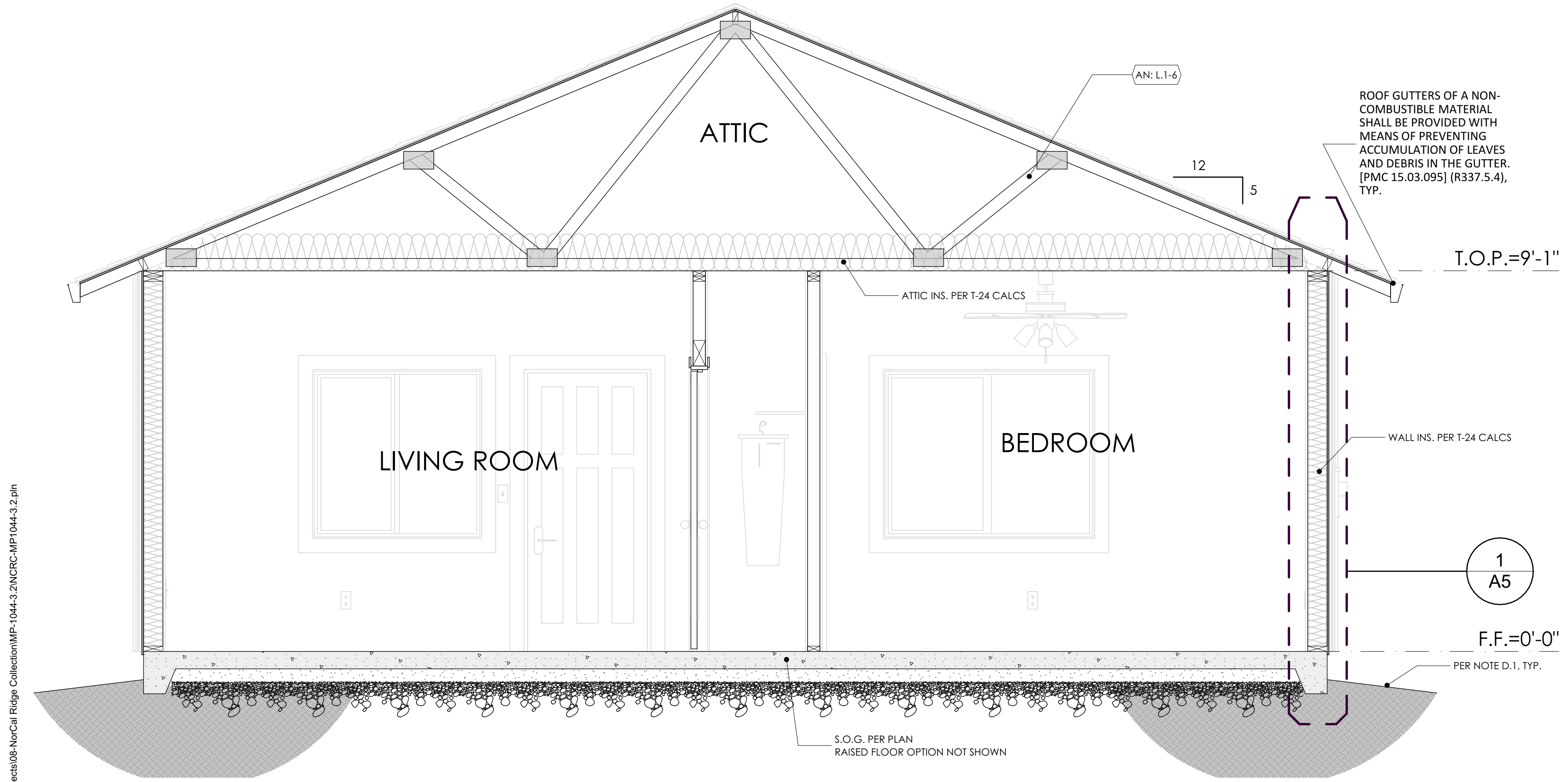
7 OPTION "B" - EXTENDED PORCH ELEVATION
 SCALE: 1/4" = 1'-0"



4 RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"



3 FRONT ELEVATIONS
 SCALE: 1/4" = 1'-0"

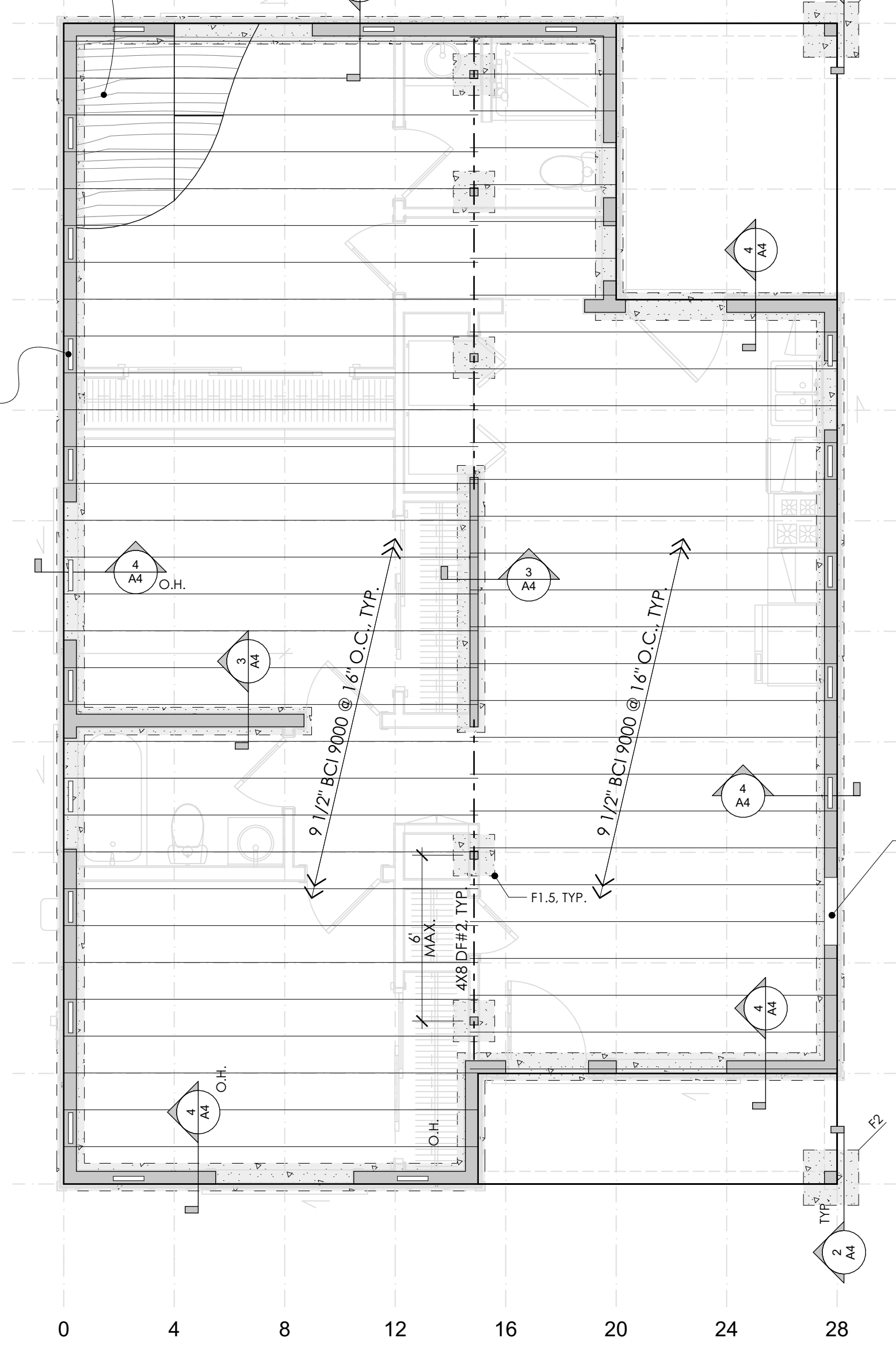


2 SECTION A-A
 SCALE: 1/2" = 1'-0"

TYPICAL FLOOR SHEATHING (U.N.O.): 3/4" THICK, APA, TECO, OR PITTSBURGH RATED SHEATHING OR RATED STURDI-FLOOR, SPAN RATING 48/24(24 FOR STURDI-FLOOR), EXPOSURE 1 STRUCTURAL PANELS, APPLIED WITH LONG DIMENSION ACROSS SUPPORTS AND ADJACENT PANELS STAGGERED WITH 4 ENDS OFFSET 4" (CASE 1, 3 SDPWS 15 TABLE 4.2A). GLUE PANELS TO ALL FRAMING. EDGE NAIL WITH 10S COMMON RING SHANK NAILS OR EQUIV. (0.148" DIA X 3") AT 6" O.C. AT ALL PANEL EDGES, BOUNDARIES, BLOCKING AND WHERE INDICATED ON PLAN. FIELD NAIL AT 10" O.C. PROVIDE 1/8" GAPS AT ALL PANEL EDGES U.N.O. BY PANEL MANUFACTURER.

SUB-FLOOR VENT CALCULATIONS
 SUB-FLOOR AREA: 1036 sq.ft.
 1044/150 = 7 sq.ft./144 = 1008 sq.in. = 1,008' of net free area min.
 14x6 VENTS = 525Q IN.
 1,008/52 = 20 VENTS OR EQUIVALENT

- ELEVATION NOTES:**
- A. GENERAL:
- ROOF OVERHANGS:** RAFTER TAIL OVERHANGS SHALL EXTEND 1'-6", U.N.O.
 - ROOFING:** ALL ROOFING MATERIAL TO BE 25YR MIN. COMP. ROOFING
 - ROOF PITCH:** 5:12
- B. GENERAL SIDING:
- BOARD AND BATTEN**
 A MINIMUM OF ONE LAYER OF NO.15 ASPHALT FELT, COMPLYING WITH ASTM D-226 FOR TYPE 1 FELT OR OTHER APPROVED MATERIALS BEHIND ALL TYPES OF EXTERIOR WALL FINISHES IS REQUIRED.
- C. SITE ADDRESS:
- BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.
 - ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4" WITH A MINIMUM STROKE WIDTH OF 1/2".
 - WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.
- D. GRADING:
- THE LOT SHALL BE GRADED TO DRAIN SURFACES AWAY FROM (N) FOUNDATION WALLS. THE GRADING SHALL FALL A MIN. OF 6 INCHES WITHIN THE FIRST 10 FEET. CRC R401.3



1 RAISED FLOOR FRAMING OPTION
 SCALE: 1/4" = 1'-0"

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